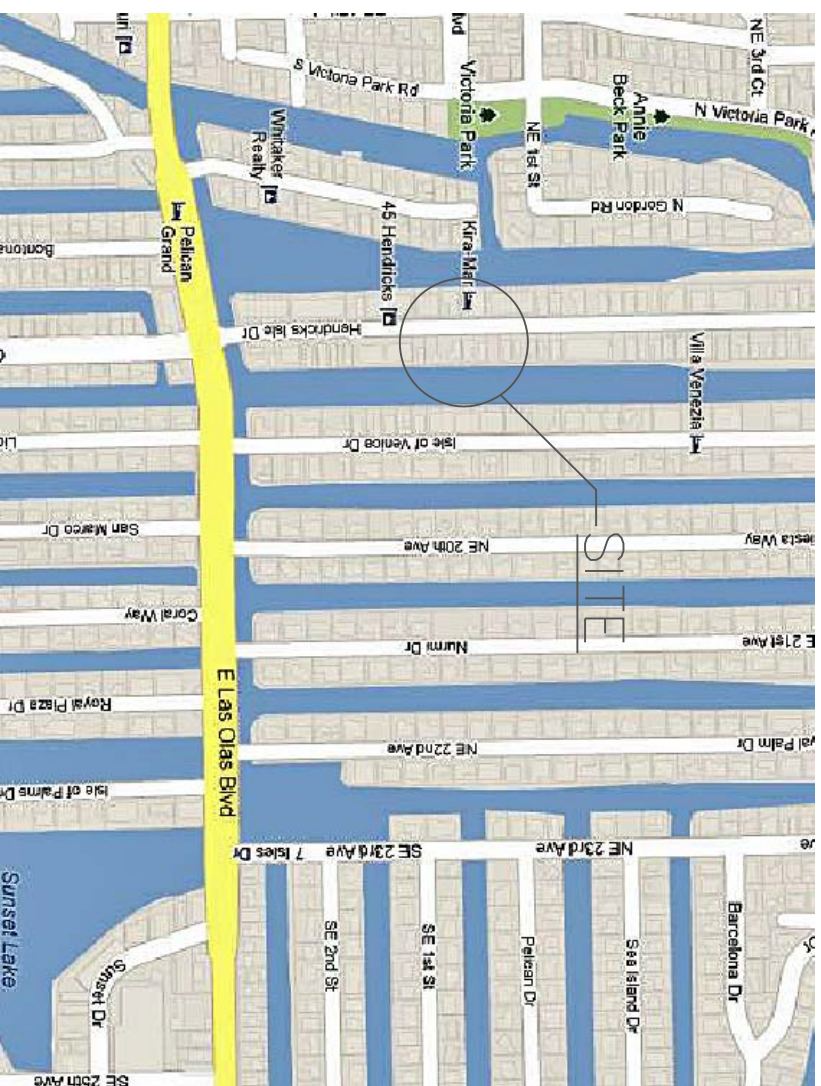


PROJECT DESIGN TEAM

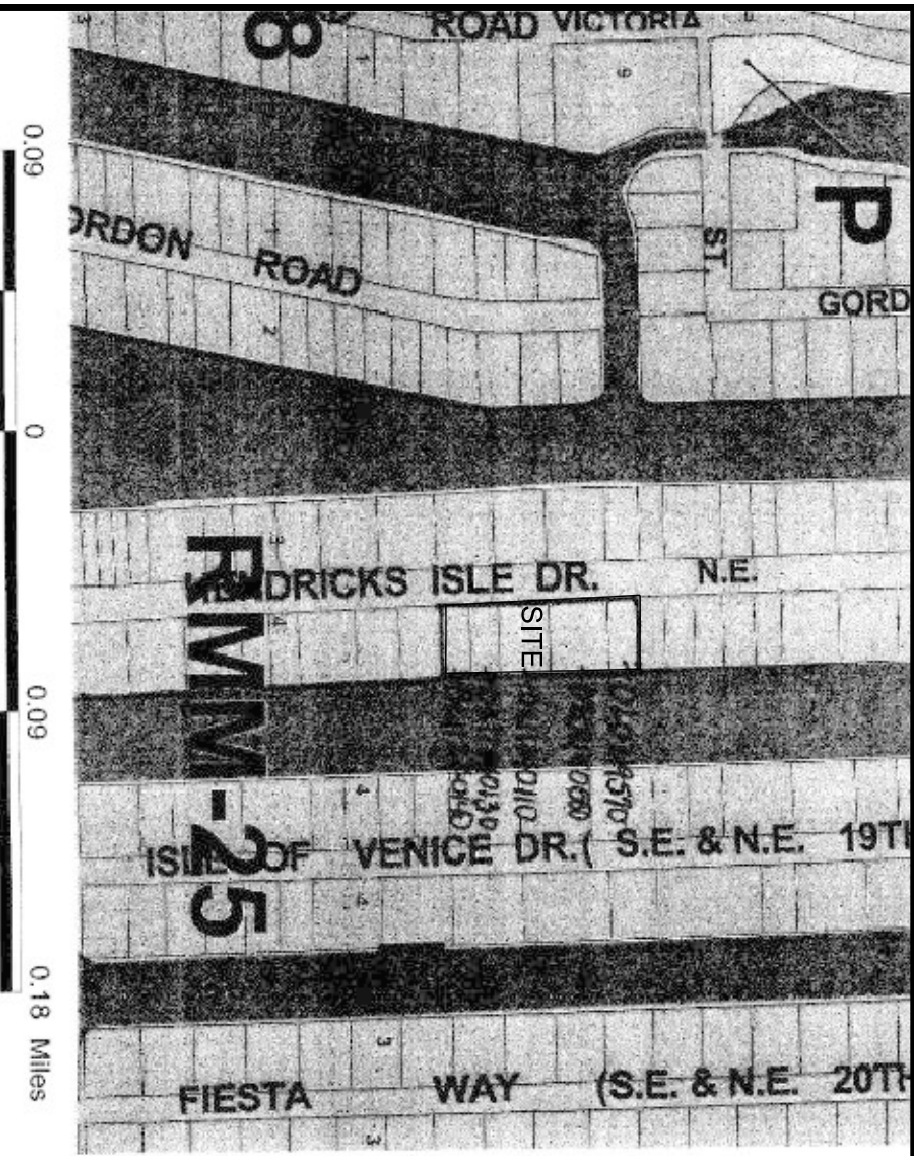
<b>Architects</b>	<b>M/E/P ENGINEER</b>
<b>ADACHE GROUP ARCHITECTS, INC.</b> 550 SOUTH FEDERAL HIGHWAY FORT LAUDERDALE, FLORIDA 33301 PH: (954) 525-8133 FAX: (954) 728-8159 E-MAIL: <a href="mailto:info@adachegroup.com">info@adachegroup.com</a>	<b>FAE ENGINEERS</b> 10000 W. UNIVERSITY BLVD. BOCA RATON, FLORIDA 33432 PH: (561) 391-9232 FAX: (561) 391-9868 E-MAIL: <a href="mailto:USOULAB@FACONSULTING.COM">USOULAB@FACONSULTING.COM</a>
<b>LANDSCAPE ARCHITECTS</b>	<b>LAND SURVEYOR</b>
<b>WITIN DESIGN GROUP</b> 16553 NE 2ND AVENUE, SUITE 305 FORT LAUDERDALE, FL 3302 PH: (954) 564-8888	<b>MCLAUGHLIN ENGINEERING CO.</b> 400 NE 38th AVENUE FORT LAUDERDALE, FLORIDA 33301 PH: (954) 768-7611

**CIVIL ENGINEER**  
**BOTEK THURLOW ENGINEERING, INC.**  
2500 UNIVERSITY BLVD., SUITE 200  
FORT LAUDERDALE, FLORIDA 33309  
PH: (954) 586-0888

LOCATION/VICINITY MAP



ZONING/LAND USE MAP

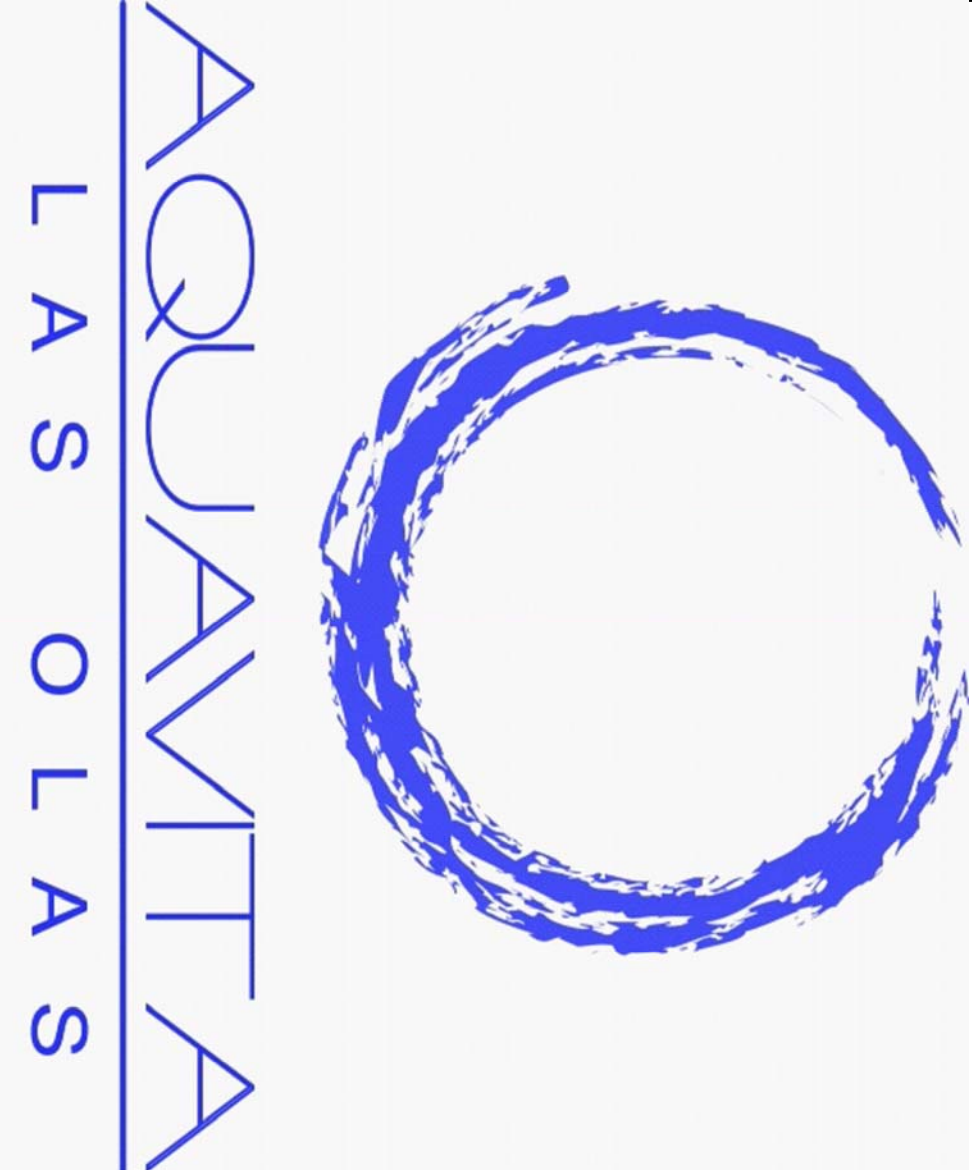


LIST OF DRAWINGS:

A-1 COVER SHEET	A-25 UNIT TYPE 1
A-2 DATA SHEET OF CALCULATIONS	A-26 UNIT TYPE 1A
A-3 AERIAL PHOTO	A-27 UNIT TYPE 2
A-3A AERIAL PHOTO	A-28 UNIT TYPE 2A
A-4 ZONING/LAND USE MAPS	A-29 UNIT TYPE 3
A-5 SURVEY	A-30 UNIT TYPE 3A
A-6 SITE PHOTOS	A-31 UNIT TYPE 4
A-7 SITE PHOTOS	
A-8 NOT USED	
A-9 RENDERINGS	
A-10 RENDERINGS	
A-11 RENDERINGS	
A-12 RENDERINGS	
A-13 RENDERINGS	
A-14 OVERALL SITE PLAN	
A-15 1 ST FLOOR PLAN/ROUND (PARKING)	
A-16 2ND FLOOR PLAN	
A-17 3RD FLOOR PLAN	
A-18 4TH FLOOR PLAN	
A-19 5TH FLOOR PLAN	
A-20 ROOF PLAN	
A-21 NORTH/EAST ELEVATION	
A-22 NORTH/SOUTH ELEVATION	
A-23 DETAILS	
A-24 BUILDING SECTION	

# AQUAVITA LAS OLAS AT HENDRICKS ISLE FORT LAUDERDALE, FLORIDA

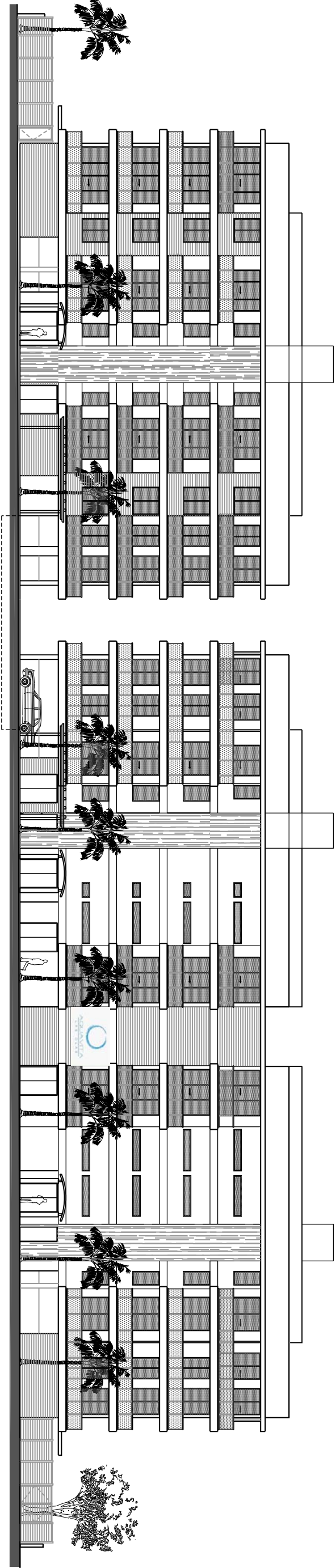
56, 60, 64, 76, 84 HENDRICKS ISLE-N.E. 18TH AVE  
FORT LAUDERDALE, FLORIDA 33309  
JUNE 11, 2013 - DRC SUBMISSION



**adache group architects**  
550 SOUTH FEDERAL HIGHWAY  
FORT LAUDERDALE, FLORIDA 33301  
PH: (954) 525-8133 FAX: (954) 728-8159  
FLORIDA LICENSE: AA C000579

## CASE NO.

### SITE PLAN LEVEL 3



### WEST ELEVATION

Legal Description

All of Lot 1 and the South half of Lot 2, Block 4, WICTORIA ISLES, according to the plat thereof as recorded in Plat Book 15, Page 67, of the public records of Broward County, Florida.  
TOGETHER WITH:  
Lots 2, 3, and 4, Block 4, AMENDED PLAT OF A PART OF LAUDERDALE ISLES UNIT 4, according to the plat thereof, as recorded in Plat Book 16, Page 33, of the Public Records of Broward County, Florida.  
ALSO TOGETHER WITH:  
that part of Lot 1, Block 4, LAUDERDALE ISLES UNIT 4, according to the Plat thereof, as recorded in Plat Book 9, Page 28 of the Public Records of Broward County, Florida, described as follows:  
Beginning at the Southwest corner of said Lot 1, and running thence North along the West line of said Lot 1, a distance of 33.44 feet; thence East 120 feet, more or less, to a point on the East line of said Lot 1, said point being 32.25 feet North of the Southwest corner of said Lot 1, thence South along the East line of said Lot 1, a distance of 32.25 feet to the Southwest corner of said Lot 1; thence West along the South line of said Lot 1, a distance of 160 feet, more or less, to the point of beginning.  
AND ALSO TOGETHER WITH:  
The East 5.00 feet of Right-of-Way for S.E. 18th Avenue lying West of and adjacent to said Lots 1, 2, 3, and 4, Block 4, LAUDERDALE ISLES, according to the plat thereof as recorded in Plat Book 16, Page 33. Now vacated per Ordinance C-04-64, recorded in O.R. Book 39054, Page 1716, Broward County Records.  
Said lands situate, lying and being in City of Fort Lauderdale, Broward County, Florida.

## AQUAVITA CONDOMINIUM FORT LAUDERDALE, FLORIDA

PROJECT DESCRIPTION  
PARCEL ID: 0211240110, 0211240130, 0211240110, 0202190550 AND 0202198570  
(2) 5-STORY MULTIFAMILY CONDOMINIUM BUILDINGS LOCATED ON THE EASTERN END OF HENDRICKS ISLE IN CITY OF FORT LAUDERDALE, FLORIDA. IT WILL CONTAIN 22 CONDOMINIUM UNITS ON 4 FLOORS ABOVE PARKING AT GROUND FLOOR. 47 PARKING SPACES ARE PROVIDED.

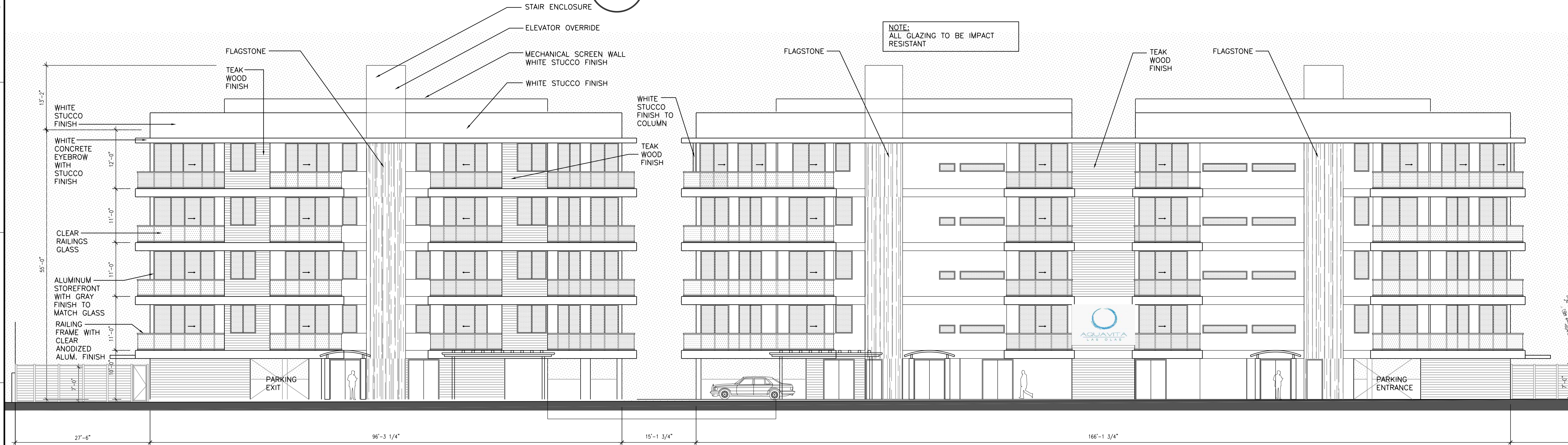
### SITE CRITERIA AND BUILDING DATA

A. LAND USE DESIGNATION	RESIDENTIAL MID RISE MULTIFAMILY MEDIUM HIGH DENSITY DISTRICT
B. ZONING DESIGNATION	RM-M-25
C. SITE AREA	41,609 SQUARE FEET/13,560 = .95 ACRES)
D. WATER / WASTE WATER SERVICE PROVIDER	CITY OF FORT LAUDERDALE
E. RESIDENTIAL DEVELOPMENT	MULTI-STORY RESIDENTIAL
F. NON-RESIDENTIAL GROSS FLOOR AREA	37,727 S.F.
G. RESIDENTIAL GROSS FLOOR AREA	66,944 S.F.
H. BUILDING FOOTPRINT/LOT COVERAGE	47 SPACES - 2 ACCESSIBLE
I. F.A.R.	16,839 S.F.
J. BUILDING HEIGHT	116.37/44.1 (609 S.F. (.95 AC) = 2.79 F.A.R. 55'-0" (0-0" NGVD.) TO TOP OF ROOF SLAB
K. NUMBER OF STORIES	ABOVE GRADE (ROOF OF HIGHEST HABITABLE SPACE) FROM GROUND FLOOR ELEVATION 5 STORIES
L. SEE NARRATIVES AND ATTACHMENTS FOR ADDITIONAL INFORMATION	UNDER SEPERATE COVER
M. DENSITY:	22 DWELLING UNITS/AC (25 D.U./AC ALLOWED)
N. CURRENT USE OF PROPERTY AND INTENSITY:	VARIABLE-RESIDENTIAL LOW RISE/NO.10 LOT
O. NUMBER OF DWELLING UNITS	22 CONDOMINIUM UNITS TOTAL FOR BOTH BUILDINGS
P. LOADING ZONE:	NOT APPLICABLE
Q. STRUCTURE LENGTH:	96'-37" NORTH BLDG. & 166'-2" SOUTH BLDG
R. OPEN SPACE:	24,754 SF / 41609 SF = 59%-0.5882 AC
S. VEHICULAR USE AREA:	17,336 SF
T. LANDSCAPE AREA:	14,699 SF (14,545 SF OR 35% MIN. REQ'D )
U. SETBACKS: (INCLUDING PROPOSED POOL AND JACUZZI)	SEE DATA SHEET ON A-2

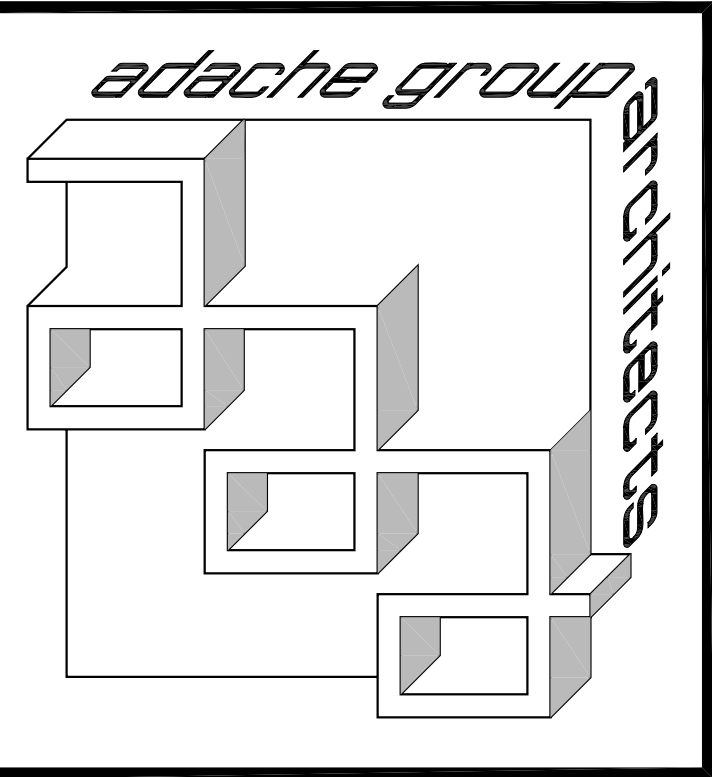




1  
A-22  
EAST ELEVATION  
SCALE: 3/32" = 1'-0"



2  
A-22  
WEST ELEVATION  
SCALE: 3/32" = 1'-0"



**PROJECT DESIGN TEAM:**  
**ARCHITECTS**  
ADACHE GROUP ARCHITECTS  
550 SOUTH FEDERAL HIGHWAY  
FT. LAUDERDALE, FLORIDA 33301  
PH.(954) 525-8133 FAX.(954) 728-6159  
E-MAIL: info@adache.com  
**LANDSCAPE ARCHITECTS**  
WITKIN DESIGN GROUP  
307 S. 21ST AVENUE  
HOLLYWOOD, FLORIDA 33020  
PH.(954) 923-9681 FAX.(954) 923-9689  
E-MAIL: andyw@witkindesign.com  
**M.E.P. ENGINEER**  
FAE ENGINEERS  
1640 NW 2ND AVENUE  
BOCA RATON, FLORIDA 33432  
PH.(561) 391-9292 FAX.(561) 391-9898  
E-MAIL: UESULA@FAECONSULTING.COM  
**CIVIL ENGINEERS**  
BOTKE THURLOW ENGINEERING, INC.  
3409 NW 9TH AVENUE, SUITE 1102  
FT. LAUDERDALE, FLORIDA 33309  
PH.(954) 568-0888

**OWNER:**  
AQUAVITA  
LAS OLAS

**PROJECT:**  
AQUAVITA LAS OLAS  
FORT LAUDERDALE, FLORIDA

**ISSUED FOR:** DRC  
**DATE:** 06/11/2013

REVISIONS:		
No.	DATE	REMARKS

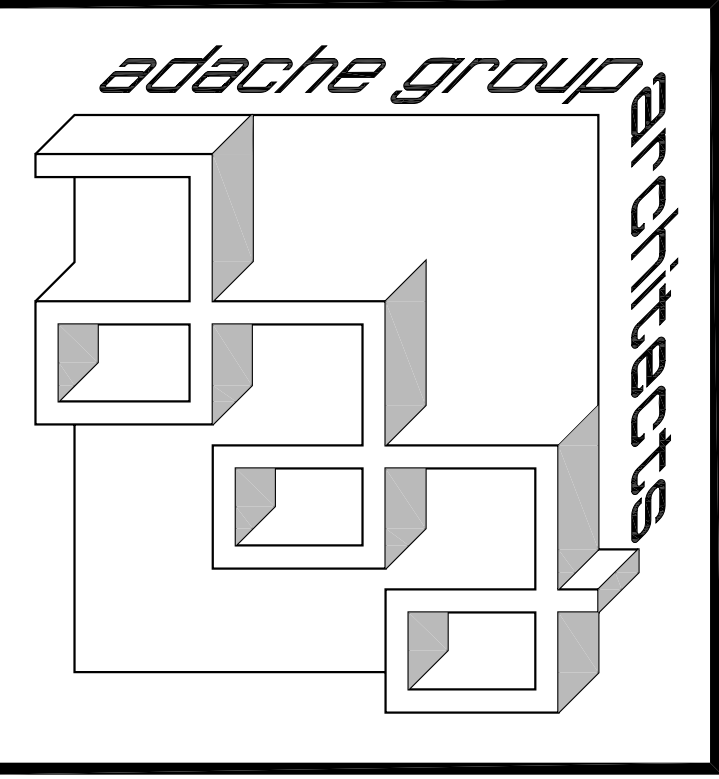
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EAST/WEST  
ELEVATION

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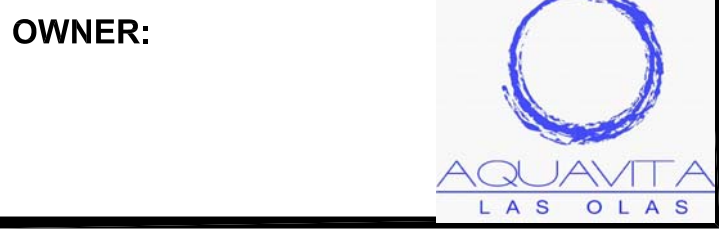
**DATE:** 7/6/12  
**SCALE:** 2/32" = 1'-0"  
**DRAWN BY:** SW  
**CHECKED BY:** JB  
**JOB NO.:** 22.01A

**SHEET NO.:**  
**A-22**





**PROJECT DESIGN TEAM:**  
**ARCHITECTS**  
ADACHE GROUP ARCHITECTS  
550 SOUTH FEDERAL HIGHWAY  
FT. LAUDERDALE, FLORIDA 33301  
PH: (954) 525-8133 FAX: (954) 728-8159  
E-MAIL: info@adache.com  
**LANDSCAPE ARCHITECTS**  
WITKIN DESIGN GROUP  
307 S. 21ST AVENUE  
HOLLYWOOD, FLORIDA 33020  
PH: (954) 923-9681 FAX: (954) 923-9689  
E-MAIL: andy@witkindesign.com  
**M.E.P. ENGINEER**  
FAE ENGINEERS  
1640 NW 2ND AVENUE  
BOCA RATON, FLORIDA 33432  
PH: (561) 391-9252 FAX: (561) 391-9898  
E-MAIL: UESULA@FAECONSULTING.COM  
**CIVIL ENGINEERS**  
BOTTEK THURLOW ENGINEERING, INC.  
3409 NW 9TH AVENUE, SUITE 1102  
FT. LAUDERDALE, FLORIDA 33309  
PH: (954) 568-0888



**PROJECT:**  
**AQUAVITA LAS OLAS**  
FORT LAUDERDALE, FLORIDA

**ISSUED FOR:** DRC  
**DATE:** 06/11/2013

REVISIONS:		
No.	DATE	REMARKS

**SHEET TITLE:**  
**RENDERINGS**

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**DATE:** 5/24/13  
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**DRAWN BY:** RIR  
**CHECKED BY:** JB  
**JOB NO.:** 32.01A

**SHEET NO.:**  
**A-13**





**CITY OF FORT LAUDERDALE**

# **DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT**

**Meeting Date:** June 25, 2013

**Project Name:** Panama Land Company SA / AquaVita Las Olas

**Case Number:** 55R13

**Request:** Site Plan Review / Twenty-Two (22) MF Units

**Location:** 60 & 70 Hendricks Isle Drive

**Zoning:** Residential Mid-Rise MF Medium-High Density  
District (RMM-25)

**Land Use:** Medium-High Residential

**Project Planner:** Yvonne Redding

**Case Number: 55R13**

**CASE COMMENTS:**

**A. Please respond to/complete Comments 1 through 7 prior to Planning and Zoning Board Meeting sign off**

1. Meet the City's adequacy requirements with respect to services provided to the public (such as fire service, water, sanitary sewer, drainage, transportation, etc.), as per Section 47-25.2 of the City's Land Development Regulations (ULDR). The applicant's engineer shall assess potential demands and impacts on those services and prepare a design for each that utilizes (as is reasonable) any existing water, sewer, drainage, and street infrastructure to adequately serve this project. In the event inadequate infrastructure exists, the engineer must prepare a design that extends/expands to the nearest City system for the purpose of serving this development. The engineer must prepare service demand calculations for water and sewer and obtain a letter of service availability from City's utilities, Jorge Holguin at 954-828-5675 or [jorgeh@fortlauderdale.gov](mailto:jorgeh@fortlauderdale.gov).
2. Verify with the City's Utilities, Mr. Mark Darmanin at (954) 828-7809 or [mdarmanin@fortlauderdale.gov](mailto:mdarmanin@fortlauderdale.gov), to determine the presence and possible relocation of a drainage outfall running east between Hendrix Isle and Rio Grande Waterway.
3. Revise the site plan to minimize/alleviate the conflicts between the trash compartments and vehicle backing out from Parking Spaces 5, 14, and 20. In addition, the door for the two-way drive aisle to the south of the swimming pool shall swing out rather than in so that any conflicts between the door and vehicles backing out can be eliminated. The site plans "Sheets A-14 & A-15" show the door swinging out and "Sheets C-1, C-2, and L-2" swinging in.
4. Provide ADA parking space, access, and sidewalks/ramps in accordance with Chapter 553 of the Florida's Statutes, "Accessibility of Handicapped Persons " and latest edition of "Accessibility Requirements Manual" by Department of Community Affairs Florida Board of Building Codes and Standard and in accordance with American Disability Act (ADA).
5. Submit a signed and sealed survey showing all above ground improvements, open and notorious evidence of encroachments, utilities or rights of way and all easements, rights of way and encroachments. This survey shall be based on an abstract of title dated no earlier than ninety- (90) days prior to the date of final DRC. Copies of all relevant deeds or other documents evidencing those matters of title shown on the site plan and survey shall be provided to the City along with the survey and a copy of the title abstract. Additionally, an affidavit shall be provided by the property owner attesting that there were no additional recordings of easements or encroachments from the remainder of time from ninety- (90) days prior to the final DRC date.
6. Show typical template for vehicular circulation within the parking garages.
7. Show sight triangle for the egresses. According to ULDR, the sight triangle is a triangular shaped portion of land established for unobstructed visibility of motorists entering or leaving a street or driveway intersection in which nothing, whether stationary or moveable (i.e., vehicles, vehicular maneuvering area, signs, landscaping or objects of any kind) is permitted to be located between a height of two and one-half (2½) and eight (8) feet above the adjoining edge of pavement. The sight triangle is measured ten (10) feet from the intersection point of the edge of pavement and the driveway.

**B. Please respond to/complete Comments 8 through 12 prior to Final DRC sign off**

8. Prepare and submit the following civil engineering drawings, signed and sealed by a Florida registered civil engineer.
  - a. Paving, Grading, and Drainage Plan, including the sizes and dimensions of all proposed system.
  - b. Water and Sewer Plan, including any existing water main, force mains, gravity mains, etc. (show all pipe sizes on the plan)
  - c. Signing and marking plan, including the radii all landscaping and pavement areas
9. Provide storm runoff calculations (for both quality and quantity) signed and sealed by a Florida registered professional engineer. The calculations shall show how the minimum road crown, the perimeter berm, and finished floor elevations are met and how the 25-year, 3-day storm event is maintained on site with zero discharge to right-of-way and adjacent properties.
10. Provide typical cross sections and section profiles along all property lines. Also show how the existing and proposed grades will tie to one another.
11. Show spot elevations along the perimeter (property lines) on the paving and grading plan.
12. Show utilities on the lighting and landscaping plans for potential conflict with the design.

**C. Respond to/complete Comments 13 through 25 prior to Engineering Permit Approval**

13. Please be advised that all the proposed improvements within or adjacent to the City's right-of-ways are subject to issuance of permits from the City, and the execution of an agreement that authorizes the City for removing those improvements for any public purpose in the future.
14. Provide documentation from the Broward County Planning Council (BCPC) verifying whether the site requires platting/replatting. The documents from BCPC shall be submitted to the City's engineering reviewer. The BCPC may be contacted at (954) 357-6695.
15. Obtain a Transportation Concurrency Satisfaction Certificate from the Broward County Planning and Environmental Regulation Division (BCPERD). Please contact Evangeline Kalus at (954) 357-6632 or [EKALUS@broward.org](mailto:EKALUS@broward.org) at BCPERD to determine whether the project is subject to the Transportation Concurrency Fees. In addition, please contact Pierre Dogniaux with the Broward County Transit Division at (954) 357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
16. Satisfy the requirements of the minimum standards for the State of Florida Notice of Intent (FAC 62-621.300(4)(b)) per the Florida Department of Environmental Protection (FDEP) criteria. Notice of Intent is required for sites with areas of one (1) acre or larger that have the potential for discharge of sediments to surrounding surface waters or drainage systems which discharge indirectly to those surface waters as classified or otherwise identified in the Florida Administrative Code (FAC). Therefore, the Applicants whose projects disturb one or more acres of soil or whose projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, are required to obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity
17. Obtain a general or surface water management license from the Broward County Department of Environmental Protection (BCDPEP). Route certified calculations with Paving & Drainage plans to engineering reviewer.
18. Verify the means for the demolishing the existing structures on the property so that appropriate timely notice and coordination can be executed with the City, Public Services, and the utility companies to control the impacts from the demolition.

19. Provide an appropriate staging and storage plan. This plan shall indicate proposed fenced areas, material and equipment storage areas, construction parking plan, construction delivery truck routing, crane locations, provide multiple areas for multiple contractors (GC, Foundation, underground, franchise utility contractors), suitable dewatering, pumping, sedimentation and filtering systems for dewatering foundations, and plans for maintaining traffic during the phases to be constructed. Staff will only authorize plans for hearings or final DRC, which appropriately address these parameters.
20. Prepare and submit an erosion and sediment control plan. This plan shall be reviewed for the drainage impacts to adjacent properties, surrounding rights of way, stormwater facilities, and neighboring water bodies.
21. Obtain a dewatering permit from the Broward County Environmental Protection Dept. (EPD). This permit is required only if the site is within 1/4 mile of a known contamination site. The EPD contact is David Vanlandingham ([dvanlandingham@broward.org](mailto:dvanlandingham@broward.org) or 954/519-1478). He prefers to be notified via email for the quickest response. You can view their standard operation procedures for dewatering at [http://www.broward.org/pprd/cs\\_dewatering.htm](http://www.broward.org/pprd/cs_dewatering.htm).
22. Apply and obtain a SFWMD dewatering permit activities if off-site discharge is anticipated. Any planned activity that requires dewatering needs to be reviewed by SFWMD. In many cases, this could involve an email to SFWMD that include a description of the activity. If no permit is required, SFWMD will let you know. The SFWMD contact person is Steve Memberg ([smemberg@sfwmd.gov](mailto:smemberg@sfwmd.gov)).
23. Pay capital expansion fees for water and wastewater treatment, distribution, and disposal at the rate identified in Ordinance C-05-21. The fee will be calculated from the basis of how many equivalent residential connections (ERC) result from the design minus existing ERCs. In the event the development team can demonstrate existing units for credit the net fee is reduced following confirmation of any existing flows, and paid prior to the issuance of the building permit. The cost per each ERC is \$1,368 for water and \$651 for wastewater. The cost per each ERC is \$1,368 for water and \$651 for wastewater. For additional information on the said fees, contact Ms. Monica Santisi at (954) 828-5990.
24. Please note that any lighting onsite or in the City's right-of-way (ROW) or both, shall be approved and authorized by the City's Engineering and /or Building (Electrical Staff) Department. Any lighting placed in the ROW shall be powered by an approved lighting circuit from the proposed development or FPL source, and will require an engineering permit. Any new lighting system powered by private source shall require a revocable license agreement with the City along with a "disconnect" that shall be accessible by public work staff in or near the right of way. Please contact the City Engineer's office, either Scott Sundermeier at (954) 828-5262 or Arlen Erdman at (954) 828-5963, for information concerning the lighting within the City's Right-Of-Way.
25. Obtain an engineering permit before installing, removing, or relocating poles (lighting or electrical) within the City's right of way. Permanent or temporary relocations or removals shall be reviewed and approved by the City.

**Case Number: 55 R 13 Fire**

**CASE COMMENTS:**

Please provide a response to the following:

1. Need to provide an exit door out of the elevator lobbies from the units. Currently if elevator goes into recall person is stuck in lobby.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. None

Please consider the following prior to submittal for Building Permit:

1. None



**Case Number: 55R13**

**COMMENTS:**

Please provide a response to the following:

1. Verify that the site 35% landscape requirement is met. An overlay delineating the various landscape areas and their square footages may be required. Although sheet A-2 references the 35% landscape area requirement, Landscape Plan L-2 describes "Landscape areas to be 25% of total lot sq. ft." Provide revisions as required.
2. Make sure that all utilities (both above and belowground) that would affect proposed planting are shown on the Landscape Plan. There are existing overhead lines on the street frontage, which would preclude the use of the Royal Palms and Mahogany street trees shown on the Landscape Plan. Overheads should be placed underground for this project.
3. Revise the Landscape Plan to provide visibility to the waterway from the street at the north and south ends of the property. The use of a tall Podocarpus hedge at the property line to provide screening for the vehicular use area may be appropriate. Also, the use of palms with at least 8' of clear wood height and/or trees with at least 8' of clear trunk would maintain visibility in this area.
4. Verify any waterway setback requirements.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. Provide a list of the existing trees and palms, their names and sizes. Indicate whether they are to remain, be relocated, or be removed. All Tree Preservation Ordinance requirements apply; any trees or palms that would be considered good candidates for relocation may require relocation.
2. Make sure landscape buffer requirements are met where the VUA adjoins the abutting right-of-way.
3. Planting in the right-of-way subject to Engineering approval.
4. To meet min. Code requirements, palms need to have at least 8' of wood ht.

Please consider the following prior to submittal for Building Permit:

1. Indicate requirements for irrigation, including the requirement for a rain sensor.
2. Signoff plans to be sealed by the Landscape Architect.



**Case Number: 55R13**

**CASE COMMENTS:**

Please provide a response to the following:

1. The applicant is strongly encouraged to contact all neighborhood associations located within three hundred feet (300)' of the development site, to advise of this proposal (a map and listing of all neighborhood associations are listed on the City's website: ([www.fortlauderdale.gov/GIS/gallery.htm](http://www.fortlauderdale.gov/GIS/gallery.htm))).
2. The site is designated Medium High on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
3. Verify that copy of plat is the most current recorded plat (including notes and amendments) for the proposed site. Applicant shall provide documentation verifying (Broward County Planning Council verification letter) that the site does not require platting or plat amendment.
4. The proposed project requires review and approval by the Planning & Zoning Board. A separate application and fee is required for PZ Board submittal, and the applicant is responsible for all public notice requirements (Section 47-27, ULDR). In addition, the development permit shall not take effect nor shall a building permit be issued until thirty (30) days after approval, and then only if no motion is adopted by the City Commission seeking to review the application. Note: The City Clerk's office requires 48 hours notice prior to Commission meeting if a computer presentation is planned (i.e. *PowerPoint*), to be provided on CD or flash drive and a copy submitted to the City Clerk, contact the project planner for more information.
5. Please note for future submittals, place the plan sheets in the order listed in the application package.
6. Discuss provision of shade trees or type and size of appropriate trees with the Landscape representative. Taller shade trees along the north and south property lines will help keep the vistas to the waterway clear. Also consider relocate proposed FPL transformers by moving them closer to the building to help provide a clear view to the waterway.
7. Please provide the width of the waterway on the site plan. Mooring and dolphin piles shall not be permitted to extent more than thirty (30) percent of the width of the waterway, or twenty-five (25) feet beyond the property line, whichever is less.
8. Pursuant to ULDR Section 47-23.8, a twenty (20) foot landscaped yard is required adjacent to the existing bulkhead line. The required twenty (20) foot yard shall not be used or developed for any purpose other than landscaping and the minimum amount of driveways or walkways reasonably necessary to serve permitted nonresidential or multifamily waterfront uses, unless specifically approved by the Planning and Zoning Board. Pursuant to ULDR Sec. 47-23.11. Modification of required yards the Planning and Zoning Board shall upon application for site plan level III approval, consider a request to modify the required yards, and may change the minimum requirements, subject to criteria. Please provide a response, on letterhead, with date and author indicating how this criteria has been met.
9. Extend values on photo-metrics plans to all property lines. Show values as pursuant to Sections 47-25.3.A.3.a and 47-20.14. Please provide the foot-candles for lighting at the south property line on sheet A-400 to not exceed one-half (1/2) foot-candles (47-20.14.R, ULDR). Please be aware that garage internal light fixtures and glare cannot be visible from neighboring properties.
10. Please provide setbacks and details of proposed fencing for this project. Consider material, color, texture, and offset to avoid a massive appearance. Also ensure the fence type and style are consistent throughout the plan package.



11. Pursuant to ULDR Sec. 47-19.2.B Architectural features in residential districts. Architectural features such as eaves, cornices, unenclosed balconies with open railings, window sills, awnings, chimneys, bay windows, and dormers accessory to a residential use are permitted to extend into a yard area a distance of three (3) feet from the face of the building, or one-third (1/3) of the required yard, whichever is less. Accessory uses, which encroach into any yard area are permitted to have a total combined linear façade length not greater than twenty percent (20%) of the total linear length of the façade to which they are attached. Items such as windowsills or belt courses which extend six (6) inches or less into the yard area shall not be considered for the length limitation. If the proposed balconies exceed the three (3) feet allowed by this code section, please be aware a yard modification will need to be requested.
12. Pursuant to ULDR Sec. 47-19.2.J, Entranceway trellis, freestanding. An open weave freestanding trellis which denotes access to an entrance or path in a residential district may be permitted in the required front yard but shall be no greater than eleven (11) feet in height, eight (8) feet in width, and four (4) feet in depth, and shall be constructed so as to be no more than fifty percent (50%) opaque. Such a trellis shall meet the same setback requirements for fences, as described in [Section 47-19.5](#), Fences, Walls and Hedges. Provide detail of proposed trellis features and setbacks on elevation plan sheets.
13. If application proposes additional dockage and/or boat slips; provide an approval letter from the Broward County Environmental Protection Department, contact Julie Krawczyk (954-519-1266) prior to Planning and Zoning Board submittal.
14. Provide the following changes to the site plan:
  - a) Indicate all adjacent building footprints, indicating their uses and heights, and dimension approximate setbacks
  - b) Indicate all utilities (above and below ground) that would affect the proposed planting or landscaping plan. Overhead lines, if any, should be placed underground. If lines cannot be placed underground provide documentation from FPL.

**GENERAL COMMENTS:**

1. If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
2. Additional comments may be forthcoming at DRC meeting.
3. Provide a written response to all DRC comments within 180 days or additional DRC review may be required.



**Case Number:** 55R13

AquaVita Las Olas  
56 – 84 Hendricks Isle

**CASE COMMENTS:**

Please provide a response to the following:

1. Main lobby doors should be access controlled.
2. Stairs exterior doors should be egress only at the first floor.
3. There should be an access control system in place from the dock area into the main property.
4. Parking garage should be access controlled.
5. Light reflective paint should be used in the parking garage to increase visibility and safety.
6. Residential units should be pre-wired for an alarm system.
7. Residential unit doors should be solid, impact resistant or metal.
8. Residential entry doors should be equipped with a 180 degree peephole and a secondary locking system.
9. A Closed Circuit TV system should be used covering main entry / exit points, elevators, parking garage, pool and other common areas.
10. Emergency Communication devices should be placed in common areas, pool and parking garage for emergency assistance.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

It is highly recommended that the managing company make arrangements for private security during construction. Please submit comments in writing prior to DRC sign off.



**Case Number: 55R13**

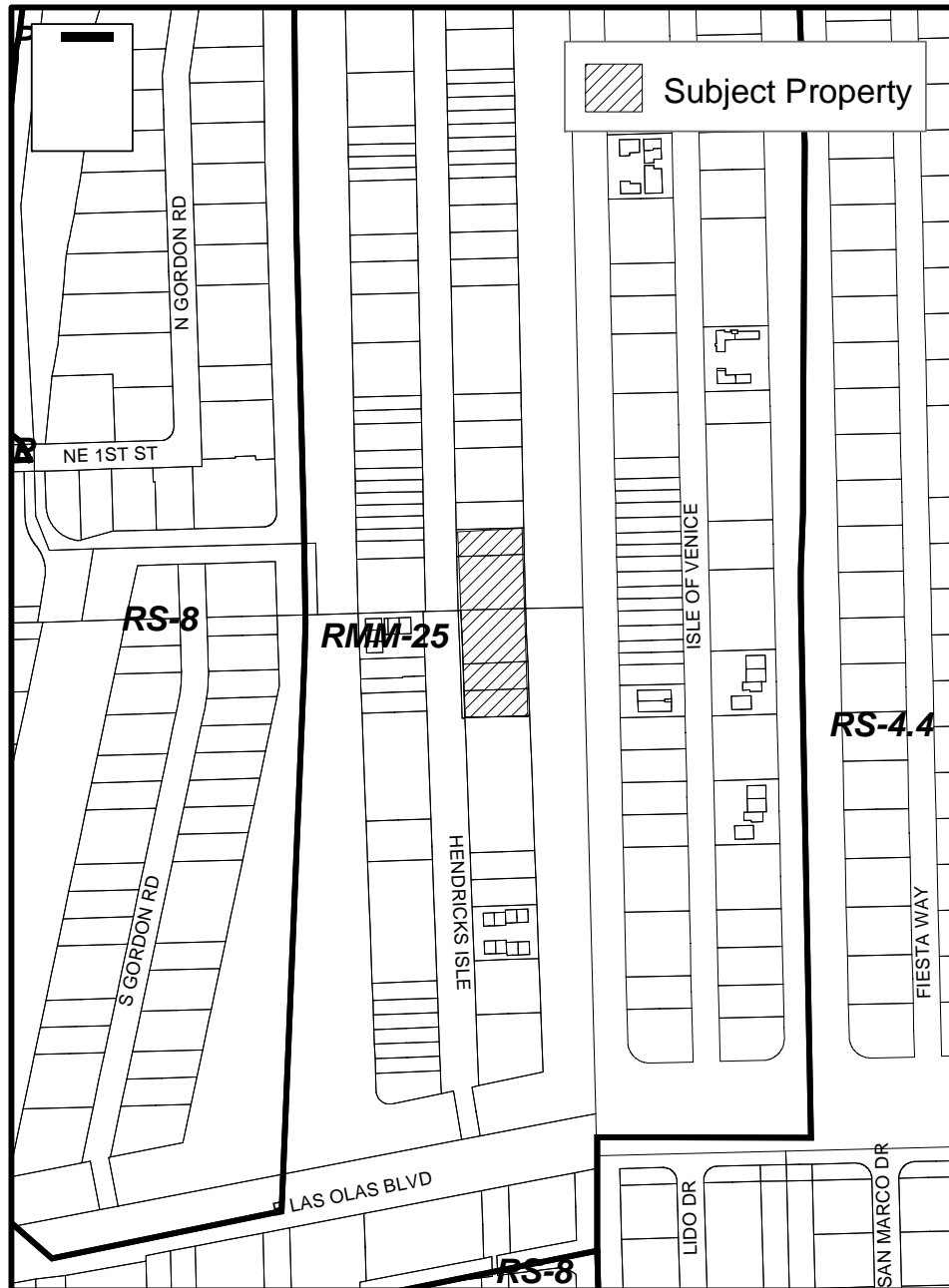
**CASE COMMENTS:**

Please provide a response to the following:

1. Case Comments:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
3. Solid Waste charges shall be included in monthly maintenance fee as prescribed in owner's association documents (Multi-family).
4. Service Days shall be: No restriction for Commercial collection.
5. Solid Waste Collection shall be on private property. Container shall not be placed, stored or block the public street to perform service.
6. Solid Waste transport to trash rooms or to primary waste container shall be performed inside building using interior service corridor.
7. Containers: must comply with 47-19.4
8. Dumpster enclosure: concrete pad, decorative block wall, gates hung independently, protective bollards, secondary pedestrian side entry, high strengthen apron and driveway approach, night light, hot water, hose bib, drain, low circulating ventilation for dampness, weep holes, landscaping, smooth surface walkway to accommodate wheeled containers.
9. If using chute, provide letter from chute company indicating make and model of proposed equipment and that it will meet the capacity needs of building.
10. Recommend trash chute accommodate recycling.
11. Draw equipment on plan to show it will fit in trash room.
12. Trash Room services will be handled by private collector, or Trash Room services will be done by on site personnel, or Trash Room services will be done by custodial staff.





0 70 140 280 420 560 Feet

**55R13**